



Room 3 144 Stumpacre

Bretton PE3 8HU

£645



## Room 3 144 Stumpacre

Bretton PE3 8HU

Property that is in need of refurbishment/modernisation on Stumpacre, North Bretton.

This property comprises of:

Ground Floor- entrance hall, store room, w/c, bedroom four, kitchen/dining room with door to the garden.

First Floor- landing, lounge and bedroom three.

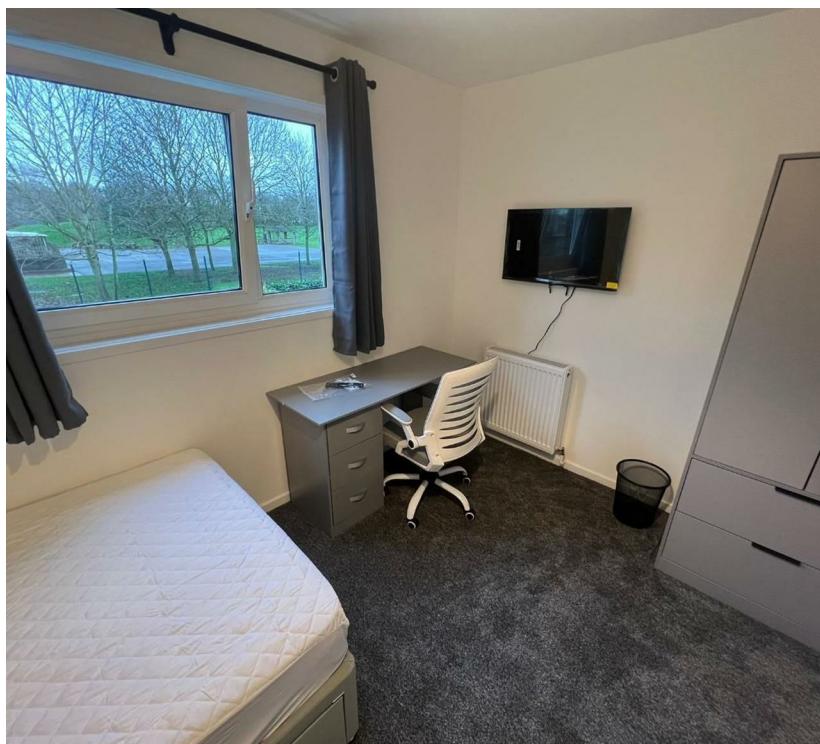
Second Floor- landing, bedrooms one and two, shower room, airing cupboard and boiler cupboard.

Outside- front and rear gardens, rear access.

This property is being sold by way of online auction and offered with No Forwarding Chain.

Tenure: Freehold

Council Tax Band: B





Ground Floor

Kitchen/Dining Room

16'11" max x 12'4" max (5.17m max x 3.76m max)

Store Room

Bedroom Four

12'8" x 8'9" (3.88m x 2.69m)

W/C

First Floor

Landing

Lounge

16'11" x 12'4" (5.16m x 3.76m)

Second Floor

Landing

Bedroom One

13'4" x 10'9" (4.08m x 3.29m)

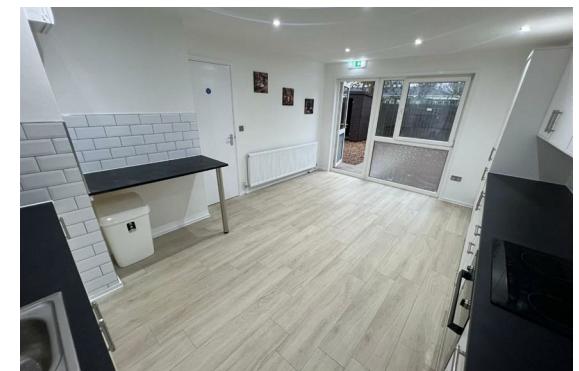
Bedroom Two

11'9" x 10'9" (3.59m x 3.28m)

Shower Room

Airing Cupboard

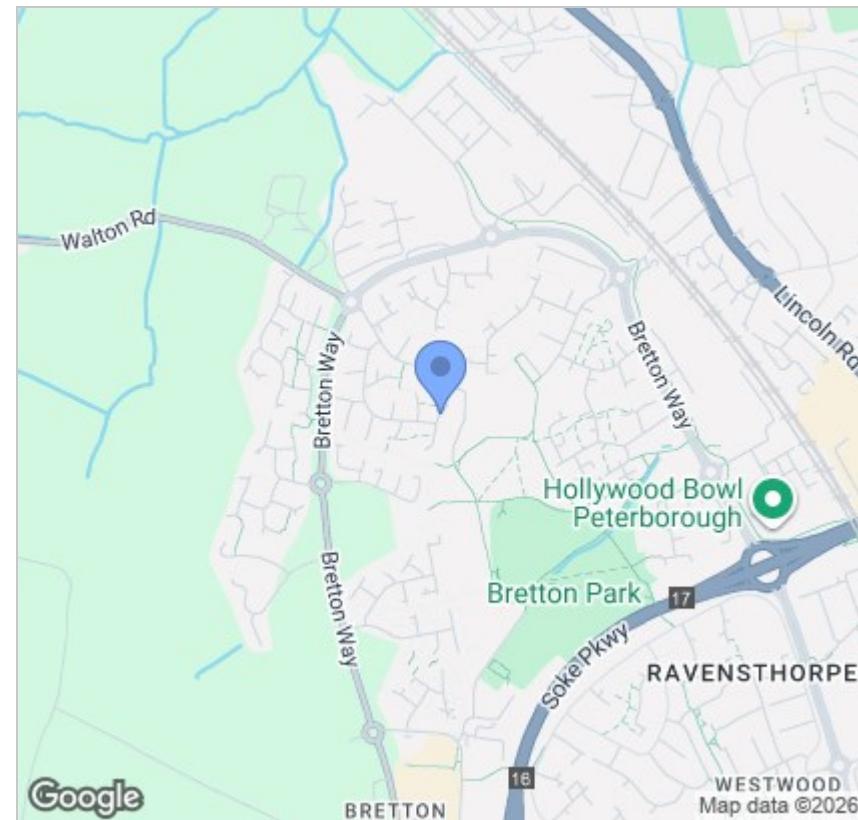
Boiler Cupboard



## Floor Plan



## Area Map



## Energy Efficiency Graph

Energy Efficiency Rating		
	Current	Potential
Very energy efficient - lower running costs (92 plus)	A	
(81-91)	B	
(69-80)	C	
(55-68)	D	
(39-54)	E	
(21-38)	F	
(1-20)	G	
Not energy efficient - higher running costs		
England & Wales		
EU Directive 2002/91/EC		

Environmental Impact (CO <sub>2</sub> ) Rating		
	Current	Potential
Very environmentally friendly - lower CO <sub>2</sub> emissions (92 plus)	A	
(81-91)	B	
(69-80)	C	
(55-68)	D	
(39-54)	E	
(21-38)	F	
(1-20)	G	
Not environmentally friendly - higher CO <sub>2</sub> emissions		
England & Wales		
EU Directive 2002/91/EC		

## Viewing

Please contact our Lettings Office on 01733 973673  
if you wish to arrange a viewing appointment for this property or require further information.

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